



# Onsite Wastewater Concepts, Materials, Regulations & The Application Process Part I

## D – New Permit Applications and Site Plans

*Instructors:*

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# Course Objective

To gain a basic understanding of the requirements of the onsite sewage treatment and disposal system application/permitting process including the application, site plans and design for new residential systems.

# Application

Form DH 4015 pg 1  
of 1



STATE OF FLORIDA  
DEPARTMENT OF HEALTH  
ONSITE SEWAGE TREATMENT AND DISPOSAL  
SYSTEM  
APPLICATION FOR CONSTRUCTION PERMIT

PERMIT NO. 10-1000-N  
DATE PAID: 7/01/2010  
FEE PAID: \_\_\_\_\_  
RECEIPT #: \_\_\_\_\_

APPLICATION FOR:  
 New System     Existing System     Holding Tank     Innovative  
 Repair     Abandonment     Temporary     \_\_\_\_\_

APPLICANT: Tom Smith  
 AGENT: Sunshine Septic Company TELEPHONE: 407-111-1111  
 MAILING ADDRESS: 111 Somewhere Place, Oviedo, FL 32765

=====

TO BE COMPLETED BY APPLICANT OR APPLICANT'S AUTHORIZED AGENT. SYSTEMS MUST BE CONSTRUCTED BY A PERSON LICENSED PURSUANT TO 489.105(3)(m) OR 489.552, FLORIDA STATUTES. IT IS THE APPLICANT'S RESPONSIBILITY TO PROVIDE DOCUMENTATION OF THE DATE THE LOT WAS CREATED OR PLATTED (MM/DD/YY) IF REQUESTING CONSIDERATION OF STATUTORY GRANDFATHER PROVISIONS.

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PROPERTY INFORMATION

LOT: 5 BLOCK: NA SUBDIVISION: Oviedo Oaks PLATTED: 1/1/71

PROPERTY ID #: 293031000782 ZONING: R I/M OR EQUIVALENT: [ Y / N ]

PROPERTY SIZE: .40 ACRES WATER SUPPLY:  PRIVATE PUBLIC [ ] <=2000GPD [ ] >2000GPD

IS SEWER AVAILABLE AS PER 381.0065, FS? [ Y / N ] DISTANCE TO SEWER: NA FT

PROPERTY ADDRESS: 312 Cypress Ave., Geneva, FL 32765

DIRECTIONS TO PROPERTY: see attached map

BUILDING INFORMATION     RESIDENTIAL     COMMERCIAL

Unit No	Type of Establishment	No. of Bedrooms	Building Area Sqft	Commercial/Institutional System Design Table 1, Chapter 64E-6, FAC
1	SFR	2	840	
2				
3				
4				

[ ] Floor/Equipment Drains    [ ] Other (Specify) \_\_\_\_\_

SIGNATURE: Tom Smith DATE: 7/01/2010

- Applicant/ authorized agent
- Date lot platted/subdivided
- Property size
- Water supply
- Sizing criteria

# Application

## Form DH 4015

### Instructions on Back

APPLICANT:	Property owner's full name.
AGENT:	Property owner's legally authorized representative.
TELEPHONE:	Telephone number for applicant or agent.
MAILING ADDRESS:	P.O. box or street, city, state and zip code mailing address for applicant or agent.
LOT, BLOCK, SUBDIVISION:	Lot, block, and subdivision for lot (recorded or unrecorded subdivision). If lot is not in a recorded subdivision, a copy of the lot legal description or deed must be attached.
DATE OF SUBDIVISION:	Official date of subdivision recorded in county plat books (month/day/year) or date lot originally recorded. Dividing an approved lot into two or more parcels for the purpose of conveying ownership shall be considered a subdivision of the lot.
PROPERTY ID#:	27 character number for property. CHD may require property appraiser ID # or section/township/range/parcel number.
ZONING:	Specify zoning and whether or not property is in I/M zoning or equivalent usage.
PROPERTY SIZE:	Net usable area of property in acres (square footage divided by 43,560 square feet) exclusive of all paved areas and prepared road beds within public rights-of way or easements and exclusive of streams, lakes, normally wet drainage ditches, marshes, or other such bodies of water. Contiguous unpaved and non-compacted road rights-of-way and easements with no subsurface obstructions may be included in calculating lot area.
WATER SUPPLY:	Check private or public <= 2000 gallons per day or public > 2000 gallons per day.
SEWER AVAILABILITY:	Is sewer available as per 381.0065, Florida Statutes, and distance to sewer in feet.
PROPERTY ADDRESS:	Street address for property. For lots without an assigned street address, indicate street or road and locale in county.
DIRECTIONS:	Provide detailed instructions to lot or attach an area map showing lot location.
BUILDING INFORMATION:	Check residential or commercial.
TYPE ESTABLISHMENT:	List type of establishment from Table II, Chapter 64E-6, FAC. Examples: single family, single wide mobile home, restaurant, doctor's office.
NO. BEDROOMS:	Count all rooms designed primarily for sleeping and those areas expected to routinely provide sleeping accommodations for occupants.
BUILDING AREA:	Total square footage of enclosed habitable area of dwelling unit, excluding garage, carport, exterior storage shed, or open or fully screened patios or decks. Based on outside measurements for each story of structure.
BUSINESS ACTIVITY:	For commercial/institutional applications only. List number of employees, shifts, and hours of operation, or other information required by Table II, Chapter 64E-6, FAC.
FIXTURES:	Mark Floor/Equipment Drains or Others and specify item or "NA" if not applicable.
SIGNATURE / DATE:	Signature of applicant or agent. Date application submitted to the CHD with appropriate fees and attachments.
ATTACHMENTS:	A site plan drawn to scale, showing boundaries with dimensions, locations of residences or buildings, swimming pools, recorded easements, onsite sewage disposal system components and location, slope of property, any existing or proposed wells, drainage features, filled areas, obstructed areas, and surface water. Location of wells, onsite sewage disposal systems, surface waters, and other pertinent facilities or features on adjacent property, if the features are with 75 feet of the applicant lot. Location of any public well within 200 feet of lot. For residences, a floor plan (residences) showing number of bedrooms and building area of each unit. For nonresidential establishments, a floor plan showing the square footage of the establishment, all plumbing drains and fixture types, and other features necessary to determine composition and quantity of wastewater.

Bedrooms

Building Area

do not confuse with  
"living area" or  
"heated/cooled area"

See Memo 03-010 –  
"Residential Sizing-  
Building Area and Bedroom  
Definitions

# Applicant/authorized agent

## Completed and signed by:

- Applicant/owner
- Authorized agent  
(owner's authorized representative if not a contractor licensed under sec. 489, FS – a signed statement is required)
- Contractor licensed under Chap. 489, FS

64E-6.004(2), FAC

**AGENT AUTHORIZATION**

**DATE:** \_\_\_\_\_

**TO:** Seminole County Health Department  
400 W Airport Blvd.  
Sanford, FL 32773

**SUBJECT:** Agent Authorization

I \_\_\_\_\_, hereby authorize as my  
Agent \_\_\_\_\_, Said agent has my  
permission to make any necessary decisions on my behalf concerning the onsite sewage  
treatment and disposal system located on my property located at:  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

\_\_\_\_\_  
Applicant's Signature

\_\_\_\_\_  
Date

Above is only a sample form, not an official form.

# Date Lot Platted / Subdivided

(lot recorded or created)

To determine whether current or pre-1972 lot size provisions will apply.

- **Surface water setbacks**

lots platted or recorded prior to 1972 have a minimum 50 ft. setback to surface water bodies. Current setback is 75 feet.

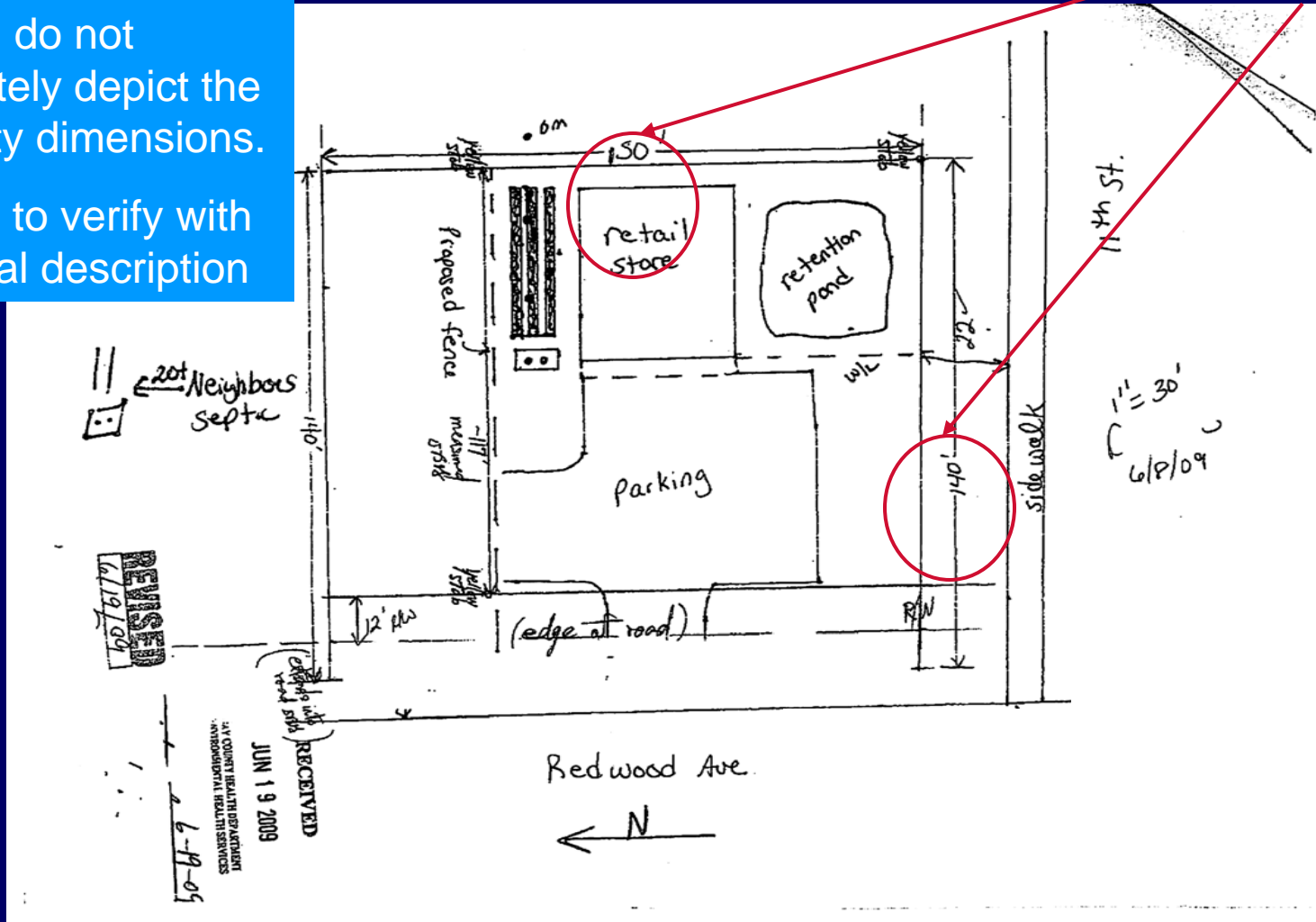
s. 381.0065(4)(g)2., FS

# Legal Descriptions

- All information that is necessary to determine the total sewage flow and proper setbacks on the site ownership shall be submitted with the application. The applicant lot shall be clearly identified. A copy of the legal description or survey must accompany the application for confirmation of [property dimensions](#) only.
- 64E-6.004(3)(a)5.

# Lot Dimensions shown are 150' x 140'

- The lot dimensions shown, do not accurately depict the property dimensions.
- Need to verify with the legal description



Beginning at the Southwest Corner of the Southwest Quarter of the Southeast Quarter of the Northwest Quarter of Section 3, Township 4 South, Range 14 West, Bay County, Florida; thence North 150 feet; thence East 140 feet; thence South 150 feet; thence West 140 feet to the Point of Beginning. Less that portion lying in the rights of way of 11<sup>th</sup> Street and Redwood Avenue.

This Instrument Prepared by: Mark Stockdale  
 An Officer of Diamond Title Agency, Inc.  
 For Purposes of Title Insurance  
 File No.  
 Parcel ID No: 1

### Warranty Deed

(The terms grantor and grantee herein shall be construed to include all genders and singular or plural as the context indicates)

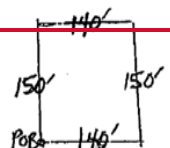
Made October 09, 2007, BETWEEN

whose post office address is: \_\_\_\_\_, Panama City Beach, FL 32408  
 GRANTOR, and

whose post office address is: \_\_\_\_\_, Panama City, FL 32401  
 GRANTEE

WITNESSETH: That the said grantor, for and in consideration of the sum of Ten (\$10.00) Dollars, and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the said grantee, and grantee's heirs, successors and assigns forever, the following described land, situated, lying and being in Bay County, Florida to-wit:

Beginning at the Southwest Corner of the Southwest Quarter of the Southeast Quarter of the Northwest Quarter of Section 3, Township 4 South, Range 14 West, Bay County, Florida; thence North 150 feet; thence East 140 feet; thence South 150 feet; thence West 140 feet to the Point of Beginning. Less that portion lying in the rights of way of 11th Street and Redwood Avenue.



SUBJECT PROPERTY NOT HOMESTEAD OF GRANTOR

Subject to easements and restrictions of record, if any, which are specifically not extended or reimposed hereby Subject to 2007 taxes and assessments.

and said grantor does hereby fully warrant the title to said land, and will defend the same against the lawful claims of all persons whomsoever.

**Dan Sowell, CFA**  
 Bay County Property Appraiser  
 820 Mulberry Ave Panama City, FL 32401 | (904) 784-4095 | Fax (904) 764-6123

SPONSORING AGENCY	PROPERTY INSURANCE CARRIER	APPLICANT	PROPERTY
SPONSORING AGENCY	SPONSORING AGENCY	SPONSORING AGENCY	SPONSORING AGENCY
Owner Name	Property Address	Parcel Number	
	1701 11TH ST E	16064-000-000	
Business Address	Business		
PANAMA CITY, FL 32401	Not all businesses may be listed on this parcel		
Homestead	Primary Millage District	Aggregate Millage Rate	Section-Township-Range
NO	Panama City (16)	14.4598	3-4S-14W
			Property Type
			VACANT

VALUE INFORMATION			LEGAL DESCRIPTION
	Working Values	2008 Certified values	
Building Value	0	0	3-4S-14W-240-BEG AT SW COR OF SW 1/4 OF SE 1/4 OF NW 1/4 N 150' (E 140' & 150') W 140' TO BEG LESS ROAD R/W ORB 843 P 165 ORB 3062 P 1579 The legal description shown here may be condensed for assessment purposes. Exact description may be obtained from the recorded deed.
Extra Feature Value	0	0	
Land Value	29,146	32,550	
Agricultural Value	0	0	
* Just (Market) Value	29,146	32,550	
Assessed Value	29,146	32,550	
Exempt Value	0	0	
Taxable Value Tax Collector Information	29,146	32,550	
**Save Our Homes Portability Amount	\$0	\$0	

\* The Senior Exemption Does Not Apply to All Taxing Authorities.  
 \* Just (Market) Value is established by the Property Appraiser for ad valorem tax purposes. It does not represent anticipated selling price  
 \*\* The information listed in this table is the effect of the constitutional amendment passed on January 29, 2008.

**BUILDING INFORMATION**  
 No buildings associated with this parcel.

**LAND INFORMATION**

Description	Frontage	Depth	Land Units	Unit Type
SFR	115	150	0000115.000	FRONT FEET

**SALES INFORMATION**

Book 3062 Page 298

**The lot dimensions are:**  
 150 x 115

**The frontage is 140 feet which includes 25 feet of right of way. (140ft. - 115ft. = 25 ft.)**

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# Property Size

## Current Lot Size Requirements:

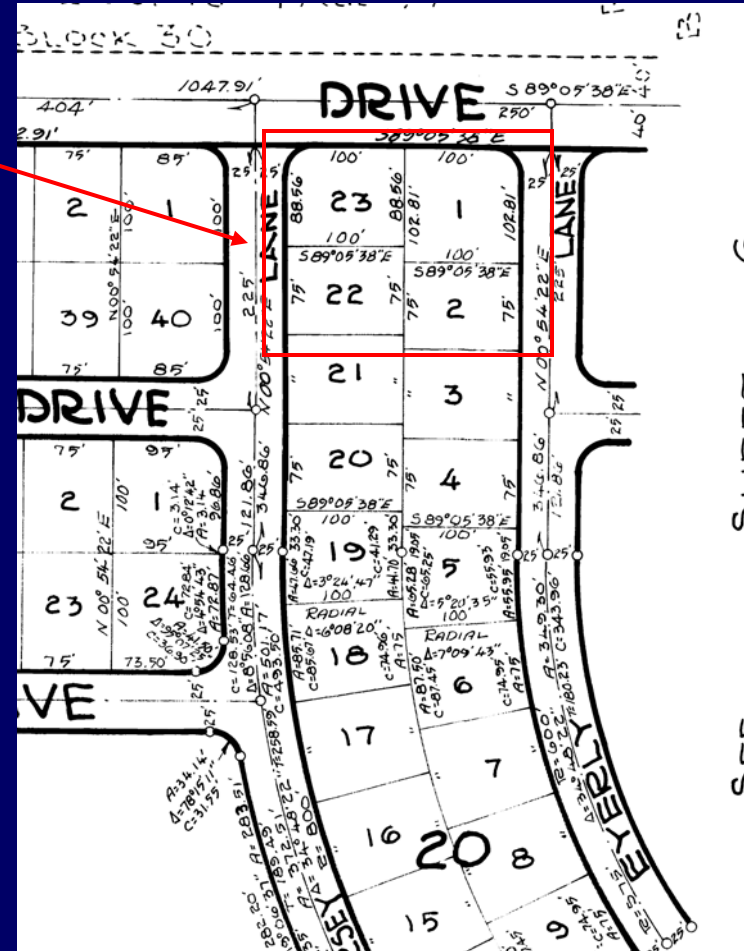
*(Lots platted/subdivided after 1/1/1972)*

- Lots using private potable or 64E-8 well – **.50 acre (21,780 sq.ft.)**  
(and either a minimum dimension of 100 feet or a mean of at least 100 feet of the side bordering the street and the distance formed by a line parallel to the side bordering the street drawn between the two most distant points of the remainder of the lot)
- Lots using a DEP regulated public water system, **no more than 4 lots per acre**

See Memo 06-005 for further information on application of the 4 Lots Per Acre

# No more than 4 lots per acre – How to Determine

- Sum the cumulative area of 4 adjacent lots
- Add pro-rata portion of adjacent right of way and subtract surface water, prepared road beds etc.
- If cumulative area is less than a whole acre, the provision is violated
- Individual lots, not associated with a subdivision can not be assessed
- See section 381.0065(4)(b), FS and Memo 06-005 for further details



# Property Size

## Pre 1972 Lot Size Requirements:

- lots platted or recorded prior to 1972 have no minimum lot size requirements provided daily sewage flow does not exceed allowances.

s. 381.0065(4)(g)2., FS

# Maximum Daily Sewage Flow Allowance

- Public drinking water system  
(regulated by DEP)  
**2500 gallons/acre/day**
- Private potable wells,  
64E-8 Ltd use PWS (regulated by DOH)  
**1500 gallons/acre/day**

64E-6.005(7)(c), 64E-6.001(44)(a)-(c)

# Setback to Surface Water

- Lots platted or recorded prior to January 1, 1972 have a minimum **50 feet** setback to surface waters
- Current setback is **75 feet**

# Private Potable Well Setback

75 feet setback to  
private wells regardless  
of the date of platting

# Sizing Criteria

- 64E-6.008, Table I Estimated Sewage Flows for Residential System Design
- When estimated sewage flows are less than 200 gallons per day, system size shall be based on a **minimum of 200** gallons per day.

64E-6.008(5), FAC

# Sizing Criteria

- Number of bedrooms and building area (Table 1 for Residences is used to estimate sewage flow). Examples are SFR.
- example: 2 bedrooms with 1000 sq.ft., requires 200 gpd.
- example: 3 bedrooms with 3000 sq.ft., requires 400 gpd.

**TABLE I**  
**For System Design**  
**ESTIMATED SEWAGE FLOWS**

TYPE OF ESTABLISHMENT	GALLONS PER DAY
RESIDENTIAL:	
Residences	
(a) Single or multiple family per dwelling unit	
1 bedroom with 750 sq. ft. or less of building area.....	100
2 bedrooms with 751-1200 sq. ft. of building area.....	200
3 bedrooms with 1201-2250 sq. ft. of building area.....	300
4 bedrooms with 2251-3300 sq. ft. of building area.....	400
For each additional bedroom or each additional 750 square feet of building area or fraction thereof in a dwelling unit, system sizing shall be increased by 100 gallons per dwelling unit.	
(b) Other per occupant.....	50

# Sizing Criteria

What is the estimated sewage flow for a 5 bedroom SFR with 6672 sq. ft., of bldg. area?

- Use this section, since 4 bedrooms or a max of 3300 SF is exceeded

- At least 4 bedrooms with 3300 SF of building area **400 GPD**
- 6672 SF – 3300 SF = 3372 SF / 750 SF = 4.49 **500 GPD**
- 400 + 500 = 900 GPD

**TABLE I**  
For System Design  
**ESTIMATED SEWAGE FLOWS**

TYPE OF ESTABLISHMENT	GALLONS PER DAY
<b>RESIDENTIAL:</b>	
Residences	
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3 bedrooms with 1201-2250 sq. ft. of building area.....	300
4 bedrooms with 2251-3300 sq. ft. of building area.....	400
for each additional bedroom or each additional 750 square feet of building area or fraction thereof in a dwelling unit, system sizing shall be increased by 100 gallons per dwelling unit.	
(b) Other per occupant.....	50

The estimated sewage flow is **900 GPD**



STATE OF FLORIDA  
 DEPARTMENT OF HEALTH  
 ONSITE SEWAGE TREATMENT AND DISPOSAL  
 SYSTEM  
 APPLICATION FOR CONSTRUCTION PERMIT

PERMIT NO. 10-1000-N  
 DATE PAID: 7/01/2010  
 FEE PAID: \_\_\_\_\_  
 RECEIPT #: \_\_\_\_\_

APPLICATION FOR:

New System       Existing System       Holding Tank       Innovative  
 Repair       Abandonment       Temporary       \_\_\_\_\_

APPLICANT: Tom Smith

AGENT: Sunshine Septic Company TELEPHONE: 407-111-1111

MAILING ADDRESS: 111 Somewhere Place, Oviedo, FL 32765

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TO BE COMPLETED BY APPLICANT OR APPLICANT'S AUTHORIZED AGENT. SYSTEMS MUST BE CONSTRUCTED BY A PERSON LICENSED PURSUANT TO 489.105(3)(m) OR 489.552, FLORIDA STATUTES. IT IS THE APPLICANT'S RESPONSIBILITY TO PROVIDE DOCUMENTATION OF THE DATE THE LOT WAS CREATED OR PLATTED (MM/DD/YY) IF REQUESTING CONSIDERATION OF STATUTORY GRANDFATHER PROVISIONS.

=====

PROPERTY INFORMATION

LOT: 5 BLOCK: NA SUBDIVISION: Oviedo Oaks PLATTED: 1/1/71

PROPERTY ID #: 293031000782 ZONING: R I/M OR EQUIVALENT: [ Y / N]

PROPERTY SIZE: .40 ACRES WATER SUPPLY: [  ] PRIVATE PUBLIC [  ] <=2000GPD [  ] >2000GPD

IS SEWER AVAILABLE AS PER 381.0065, FS? [ Y / N ] DISTANCE TO SEWER: NA FT

PROPERTY ADDRESS: 312 Cypress Ave., Geneva, FL 32765

DIRECTIONS TO PROPERTY: see attached map

BUILDING INFORMATION       RESIDENTIAL       COMMERCIAL

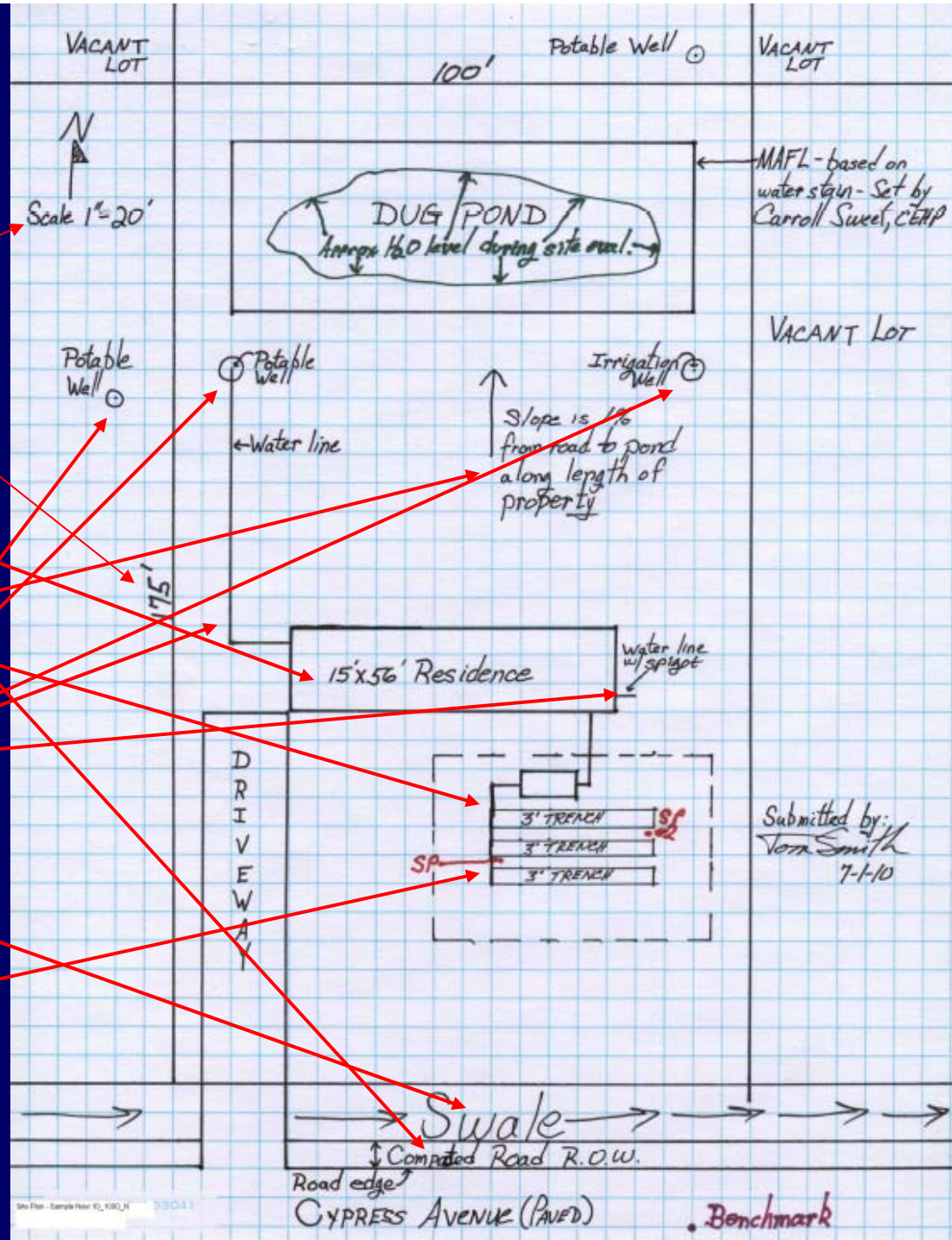
Unit No	Type of Establishment	No. of Bedrooms	Building Area Sqft	Commercial/Institutional System Design Table 1, Chapter 64E-6, FAC
1	SFR	2	840	
2				
3				
4				

[  ] Floor/Equipment Drains      [  ] Other (Specify) \_\_\_\_\_

SIGNATURE: Tom Smith DATE: 7/01/2010

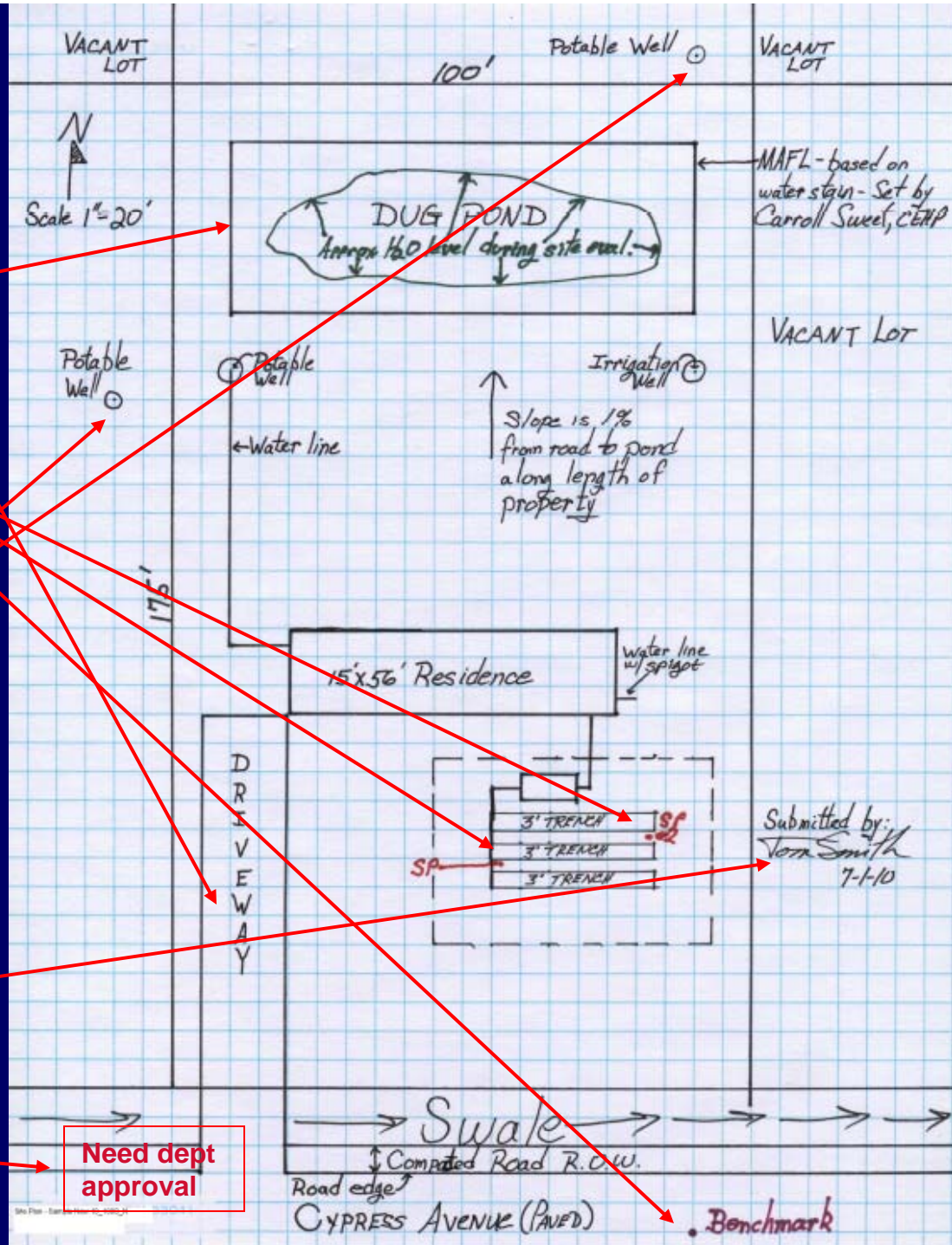
# Site Plan

- Drawn to scale, boundaries with dimensions
- Structures, swimming pools, recorded easements
- OSTDS location & configuration, slope of property
- Wells, potable and non-potable water lines
- Drainage features, filled areas
- Excavated areas for onsite sewage systems



# Site Plan

- Obstructed areas, surface water bodies
- Benchmark/reference point, soil profile locations (documented in drainfield area)
- Offsite features within 75 feet of lot (dimensions)
- Legal description or survey/to confirm property dimensions
- Applicant/agent signature and date
- Department approval (name of CHD, date, signature)





# Site Plan Instructions

## INSTRUCTIONS FOR DH 4015, 01/12, PG 2 OF 4 – SITE PLAN (Reference: 64E-6.004, FAC)

**FOR NEW/EXISTING/MODIFICATION SYSTEM APPLICATIONS:** The site plan shall be **DRAWN TO A SCALE** of 1 inch = 10, 20, 30, 40, 50 or 60 feet and shall be for the property where the system is to be installed.

- 1. The site plan shall **SHOW BOUNDARIES WITH DIMENSIONS** and any of the following **FEATURES THAT EXIST OR THAT ARE PROPOSED**:
  - a. Structures;
  - b. Swimming pools;
  - c. Recorded easements;
  - d. Onsite sewage treatment and disposal system components;
  - e. Slope of the property;
  - f. Wells;
  - g. Potable and non-potable water lines and valves;
  - h. Drainage features;
  - i. Filled areas;
  - j. Excavated areas for onsite sewage systems;
  - k. Obstructed areas;
  - l. Surface water bodies *Requires a surveyor to set the Mean High Water Line boundary for tidally influenced surface water bodies. Requires a surveyor or department staff to set the Mean Annual Flood Line for permanent non-tidal surface water bodies.*
  - m. Location of the reference point for system elevation.
- 2. If the county health department is responsible for performing the site evaluation, the applicant or applicant's authorized representative shall **indicate the approximate location of wells, onsite sewage treatment and disposal systems, surface water bodies and other pertinent facilities or features on contiguous or adjacent property. If the features are within 75 feet of the applicant lot, the estimated distance to the feature must be shown but need not be drawn to scale.**
- 3. If the county health department will not be performing the site evaluation, the applicant or authorized agent shall be responsible for the measurements to all features, including the pertinent features within 75 feet of the applicant lot. **The location of any public drinking water well, as defined in paragraph 64E-6.002(44)(b), F.A.C., within 200 feet of the applicant's lot shall also be shown, with the distance indicated from the system to the well.**
- 4. If an individual lot is five acres or greater, the applicant may draw a minimum one acre parcel to scale showing all required features, or the minimum size drawing necessary to properly exhibit all required features, whichever is larger. The applicant must also show the location of that one acre or larger parcel inside the total site ownership. *To scale parcel must be large enough to provide sufficient authorized flow.*
- 5. All information that is necessary to determine the total sewage flow and proper setbacks on the site ownership shall be submitted with the application. The applicant lot shall be clearly identified. **A copy of the legal description or survey must accompany the application for confirmation of property dimensions only.**

**FOR REPAIR APPLICATIONS:** A site plan (*NOT REQUIRED TO BE DRAWN TO SCALE*) showing:

- property dimensions
- the existing and proposed system configuration and location on the property
- the building location
- potable and non-potable water lines, within the existing and proposed drainfield repair area
- the general slope of the property
- property lines and easements
- any obstructed areas
- any private well *show private potable wells if within 100 feet of system, non-potable within 75 feet*
- any public wells *show if within 200 feet of system*
- any surface water bodies and stormwater systems *show if within 100 feet of system. Requires a surveyor to set the Mean High Water Line boundary for tidally influenced surface water bodies. Requires a surveyor or department staff to set the Mean Annual Flood Line for permanent non-tidal surface water bodies.*
- The existing drainfield type shall be described. For ex., mineral aggregate, non-mineral aggregate, chambers, or other.
- Any unusual site conditions which may influence the system design or function** such as sloping property, drainage structures such as roof drains or curtain drains, and any obstructions such as patios, decks, swimming pools or parking areas.

### FOR ALL SITE PLANS (IF APPLICABLE)

- A Coastal Construction Control Line Permit or an exemption notice from the Department of Environmental Protection if any component of the onsite sewage treatment and disposal system or the shoulders or slopes of the system mound will be seaward of the Coastal Construction Control Line, established under Section 161.053, F.S. Should the location of the proposed onsite system relative to the control line not be able to be definitively determined based on the site plan and the online products available on the DEP website, the applicant shall provide a survey prepared by a certified professional surveyor and mapper showing the location of the control line on the subject property.
- All plans and forms submitted by a licensed engineer shall be dated, signed and sealed.
- The evaluator shall document the **locations of all soil profiles** on the site plan.
- The site plan shall be **signed and dated by the applicant/agent**. Check appropriate box to indicate whether the signatory was the applicant or the authorized agent.

# Floor Plan

- Floor Plan is required
- Verify the floor plan is consistent with application and site plan
- Scaled
- Or total bldg. area, showing bedrooms

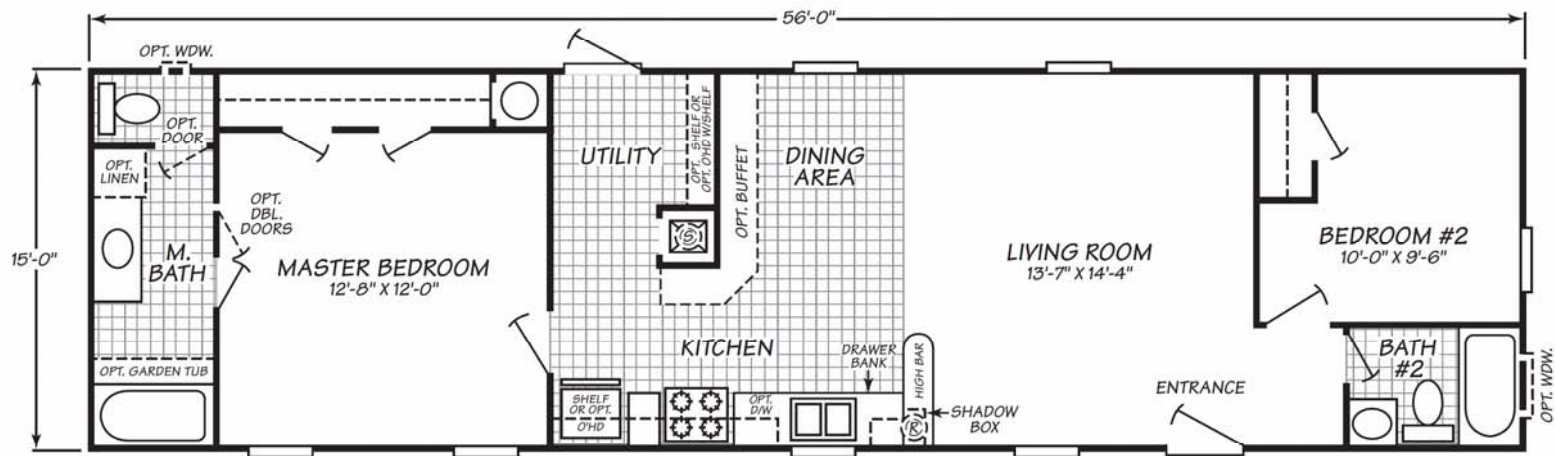
## 64E-6.004(3)(b), FAC

“For residences, a floor plan drawn to scale or showing the total building area of the structure, at the applicants' option, and showing the number of bedrooms and the building area of each dwelling unit...” *note: the sentence continues regarding commercial site plans.*

# Sample floor plan

**FLOOR PLAN for Tom Smith - 312 Cypress Avenue,**

2 Bedrooms • 2 Baths • 840 Square Feet



# Setbacks

- Private potable wells (75 ft.), non potable (50 ft.)
- Other public drinking water wells (100 – 200 ft.)
- Storm sewer pipe (max possible or not <5 ft.)
- Dry - ponds/drainage features, retention areas (15 ft.)
- Building foundations, pilings, mobile home walls, swimming pool walls, property lines (5 ft.)
- Drainfields shall not be installed below, sidewalks, decks and patios. Mound drainfield, (4 ft.) from these features (the shoulder shall not be covered).

# Setbacks

- Potable water lines (**10 ft.**) or not less than (**2 ft.**) if double sleeved or consist of schedule 40 PVC or stronger.
- Non-potable water lines (**2 ft.**) and (**<2 ft.**) if backflow devices.
- Groundwater interceptor drains (**15 ft.**)
- Effluent transmission lines (schedule 40 PVC) – to private potable wells, irrigation wells and surface water bodies not less than (**25 ft.**)
- Effluent transmission lines (schedule 40 PVC) – to property lines and building foundations not less than (**2 ft.**)
- Effluent transmission lines (schedule 40 PVC or double sleeved) – potable water lines and storm sewer lines not less than (**5 ft.**) see 64E-6.007(8)

# Setbacks - Surface Water Bodies

- Surface water bodies (75 ft.) if platted/subdivided prior to 1972 (50 ft.)
  - Tidal – the surface water boundary (mean high water line, MHWL) must be determined by a licensed professional surveyor and mapper.  
*the MHWL must be located on the site plan or additional survey by the surveyor including the elevation*
  - Nontidal - the surface water boundary (mean annual flood line, MAFL) may be determined by certified department personnel or a licensed professional surveyor and mapper.  
*the (MAFL) must be located on the site plan or additional survey by the surveyor. Must include documentation of the MAFL indicator*

*see Section 381.0065,FS, Memo 11-006 and more details covered day 2 in Soils Course*

# Site Evaluation Form DH 4015 pg. 3 of 4



STATE OF FLORIDA  
DEPARTMENT OF HEALTH  
ONSITE SEWAGE TREATMENT AND DISPOSAL SYSTEM  
SITE EVALUATION AND SYSTEM SPECIFICATIONS

PERMIT #. 10-1000-N

APPLICANT: Tom Smith AGENT: Sunshine Septic Company

LOT: 5 BLOCK: NA SUBDIVISION: Oviedo Oaks

PROPERTY ID #: [Section/Township/Parcel No. or Tax ID Number]

TO BE COMPLETED BY ENGINEER, HEALTH DEPARTMENT EMPLOYEE, OR OTHER QUALIFIED PERSON. ENGINEERS MUST PROVIDE REGISTRATION NUMBER AND SIGN AND SEAL EACH PAGE OF SUBMITTAL. COMPLETE ALL ITEMS.

PROPERTY SIZE CONFORMS TO SITE PLAN:  YES  NO **NET USABLE AREA AVAILABLE: 0.37 ACRES**  
 TOTAL ESTIMATED SEWAGE FLOW: 200 GALLONS PER DAY [RESIDENCES-TABLE 1/OTHER-TABLE2]  
 AUTHORIZED SEWAGE FLOW: 554.41 GALLONS PER DAY [1500 GPD/ACRE OR 2500 GPD/ACRE]  
 UNOBSTRUCTED AREA AVAILABLE: 3375.00 SQFT UNOBSTRUCTED AREA REQUIRED: 375.00 SQFT

BENCHMARK/REFERENCE POINT LOCATION: disc on CL of RD near SE corner of property  
 ELEVATION OF PROPOSED SYSTEM SITE IS 12 [INCHES/FT] [ABOVE/BELOW] BENCHMARK/REFERENCE POINT

THE MINIMUM SETBACK WHICH CAN BE MAINTAINED FROM THE PROPOSED SYSTEM TO THE FOLLOWING FEATURES  
 SURFACE WATER: 80 FT DITCHES/SWALES: 35 FT NORMALLY WET?  YES  NO  
 WELLS: PUBLIC: NA FT LIMITED USE: NA FT PRIVATE: 85 FT NON-POTABLE: 73 FT  
 BUILDING FOUNDATIONS: 10 FT PROPERTY LINES: 17 FT POTABLE WATER LINES: 14 FT

SITE SUBJECT TO FREQUENT FLOODING:  YES  NO 10 YEAR FLOODING?  YES  NO  
 10 YEAR FLOOD ELEVATION FOR SITE: NA FT MSL/NGVD SITE ELEVATION: NA FT MSL/NGVD

SOIL PROFILE INFORMATION SITE 1

MUNSELL #/COLOR	TEXTURE	DEPTH
10YR 2/1 Blk	FS	0 TO 6
10YR 5/1, 7/1	FS	6 TO 12
10YR 7/2	FS	12 TO 32
10YR 3/1 Dk Br	FS spodic	32 TO 39
10YR 4/3 Br	FS spodic	39 TO 45
10YR 5/3 Br	FS	45 TO 72
		TO
		TO
		TO
USDA SOIL SERIES: <u>similar to Myakka</u>		

SOIL PROFILE INFORMATION SITE 2

MUNSELL #/COLOR	TEXTURE	DEPTH
10YR 2/1 Blk	FS	0 TO 7
10YR 5/1, 7/1	FS	7 TO 12
10YR 7/2	FS	12 TO 18
10YR 2/1 Blk	FS spodic	18 TO 40
10YR 3/3 Dk Br	FS spodic	40 TO 48
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		TO
		TO
		TO
USDA SOIL SERIES: <u>similar to Myakka</u>		

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 ESTIMATED WET SEASON WATER TABLE ELEVATION: 6 INCHES [ABOVE / BELOW] EXISTING GRADE  
 HIGH WATER TABLE VEGETATION:  YES  NO MOTTLING:  YES  NO DEPTH: 6 INCHES

SOIL TEXTURE/LOADING RATE FOR SYSTEM SIZING: FS/0.80 DEPTH OF EXCAVATION: 48 INCHES  
 DRAINFIELD CONFIGURATION:  TRENCH  BED  OTHER (SPECIFY)  
 REMARKS/ADDITIONAL CRITERIA:  
Soil profile #1 is 12" above RP, Soil profile #2 is 13" above RP.  
Stripping at 6" below grade "10YR 7/1 in 5/1 matrix".

SITE EVALUATED BY: Carroll Sweet, ESI DATE: 7/2/2010

- Net Usable Area Available
- Estimated sewage flow
- Authorized sewage flow
- Unobstructed Area Available

**Note:** The remainder of the site evaluation is covered in ACT days 2 and 3 – Soils Course

# Application/Permitting Process

## *Documents/Forms Required*

<p><b>Day 1</b> MC Part I – Onsite Wastewater Concepts Regulations and the Application Process</p>	<ul style="list-style-type: none"><li>■ Application Form (DH 4015, pg 1 of 4)</li><li>■ Site Plan (DH 4015, pg 2 of 4)</li><li>■ Floor Plan</li><li>■ Site Evaluation (DH 4015, pg 3 of 4)</li></ul>
<p><b>Day 2 – 3</b> MC Part II – Introduction to Florida Soils and the Site Evaluation Process</p>	<ul style="list-style-type: none"><li>■ Site Evaluation (DH 4015, pg 3 of 4)</li></ul>
<p><b>Day 4 – 5</b> MC Part III – Onsite System Construction Permits and Inspections</p>	<ul style="list-style-type: none"><li>■ Construction Permit (DH 4016, pg 1 of 3)</li><li>■ Final Inspection and Approval (DH 4016, pg 2 of 3)</li></ul>

# Application

## Form DH 4015 pg 1 of 1



STATE OF FLORIDA  
DEPARTMENT OF HEALTH  
ONSITE SEWAGE TREATMENT AND DISPOSAL  
SYSTEM  
APPLICATION FOR CONSTRUCTION PERMIT

PERMIT NO. 10-1000-N  
DATE PAID: 7/01/2010  
FEE PAID: \_\_\_\_\_  
RECEIPT #: \_\_\_\_\_

APPLICATION FOR:  
 New System     Existing System     Holding Tank     Innovative  
 Repair     Abandonment     Temporary     \_\_\_\_\_

APPLICANT: Tom Smith

AGENT: Sunshine Septic Company TELEPHONE: 407-111-1111

MAILING ADDRESS: 111 Somewhere Place, Oviedo, FL 32765

=====

TO BE COMPLETED BY APPLICANT OR APPLICANT'S AUTHORIZED AGENT. SYSTEMS MUST BE CONSTRUCTED BY A PERSON LICENSED PURSUANT TO 489.105(3)(m) OR 489.552, FLORIDA STATUTES. IT IS THE APPLICANT'S RESPONSIBILITY TO PROVIDE DOCUMENTATION OF THE DATE THE LOT WAS CREATED OR PLATTED (MM/DD/YY) IF REQUESTING CONSIDERATION OF STATUTORY GRANDFATHER PROVISIONS.

=====

PROPERTY INFORMATION

LOT: 5 BLOCK: NA SUBDIVISION: Oviedo Oaks PLATTED: 1/1/71

PROPERTY ID #: 293031000782 ZONING: R I/M OR EQUIVALENT: [ Y / N]

PROPERTY SIZE: .40 ACRES WATER SUPPLY:  PRIVATE PUBLIC  <=2000GPD  >2000GPD

IS SEWER AVAILABLE AS PER 381.0065, FS? [ Y / N ] DISTANCE TO SEWER: NA FT

PROPERTY ADDRESS: 312 Cypress Ave., Geneva, FL 32765

DIRECTIONS TO PROPERTY: see attached map

BUILDING INFORMATION     RESIDENTIAL     COMMERCIAL

Unit No	Type of Establishment	No. of Bedrooms	Building Area Sqft	Commercial/Institutional System Design Table 1, Chapter 64E-6, FAC
1	SFR	2	840	
2				
3				
4				

[ ] Floor/Equipment Drains    [ ] Other (Specify) \_\_\_\_\_

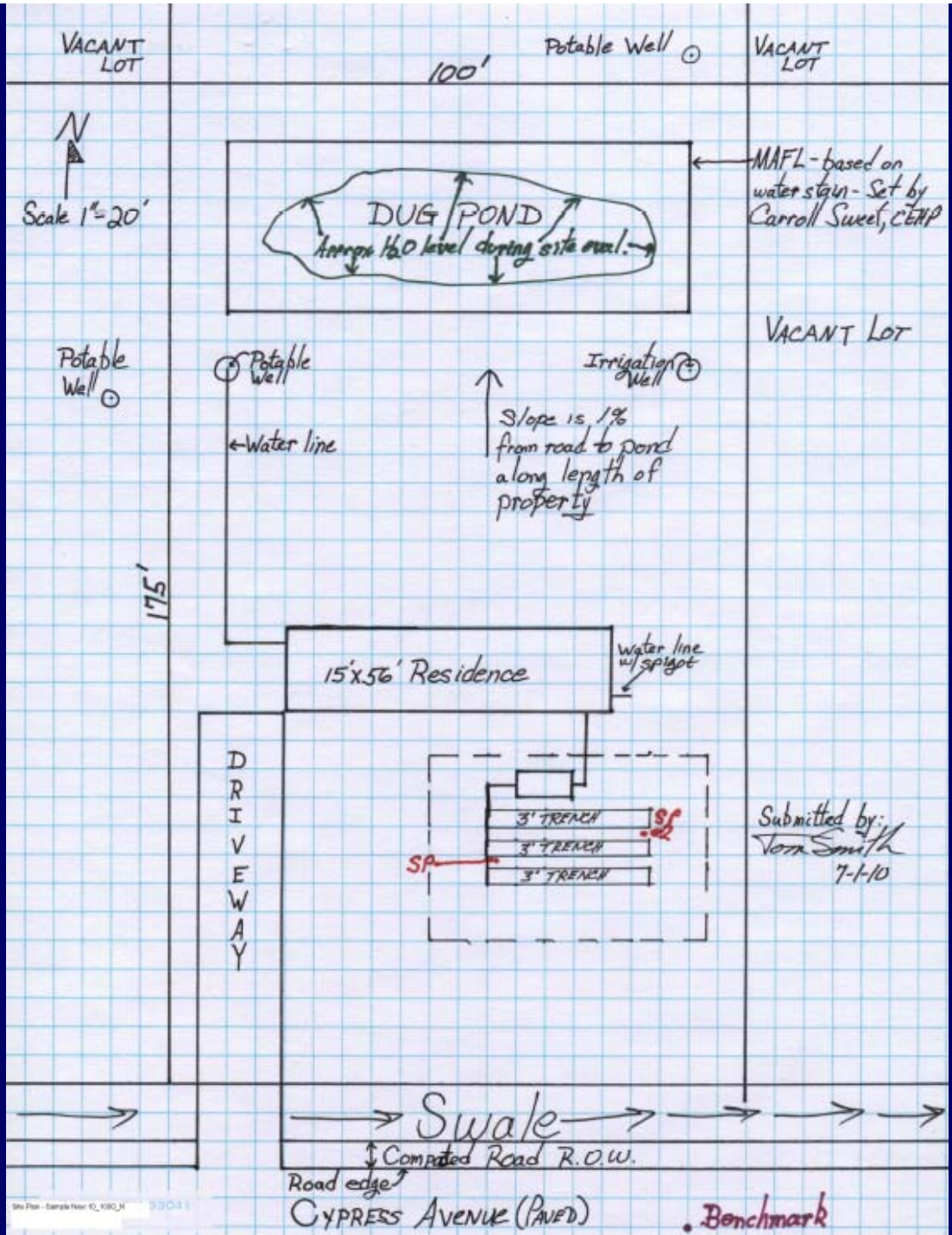
SIGNATURE: Tom Smith DATE: 7/01/2010

- Applicant/ authorized agent
- Date lot platted/subdivided (need to validate)
- Property size (from lot dimensions, must be consistent with site plan)
- Water supply
- Sizing criteria (must be consistent with floor plan)

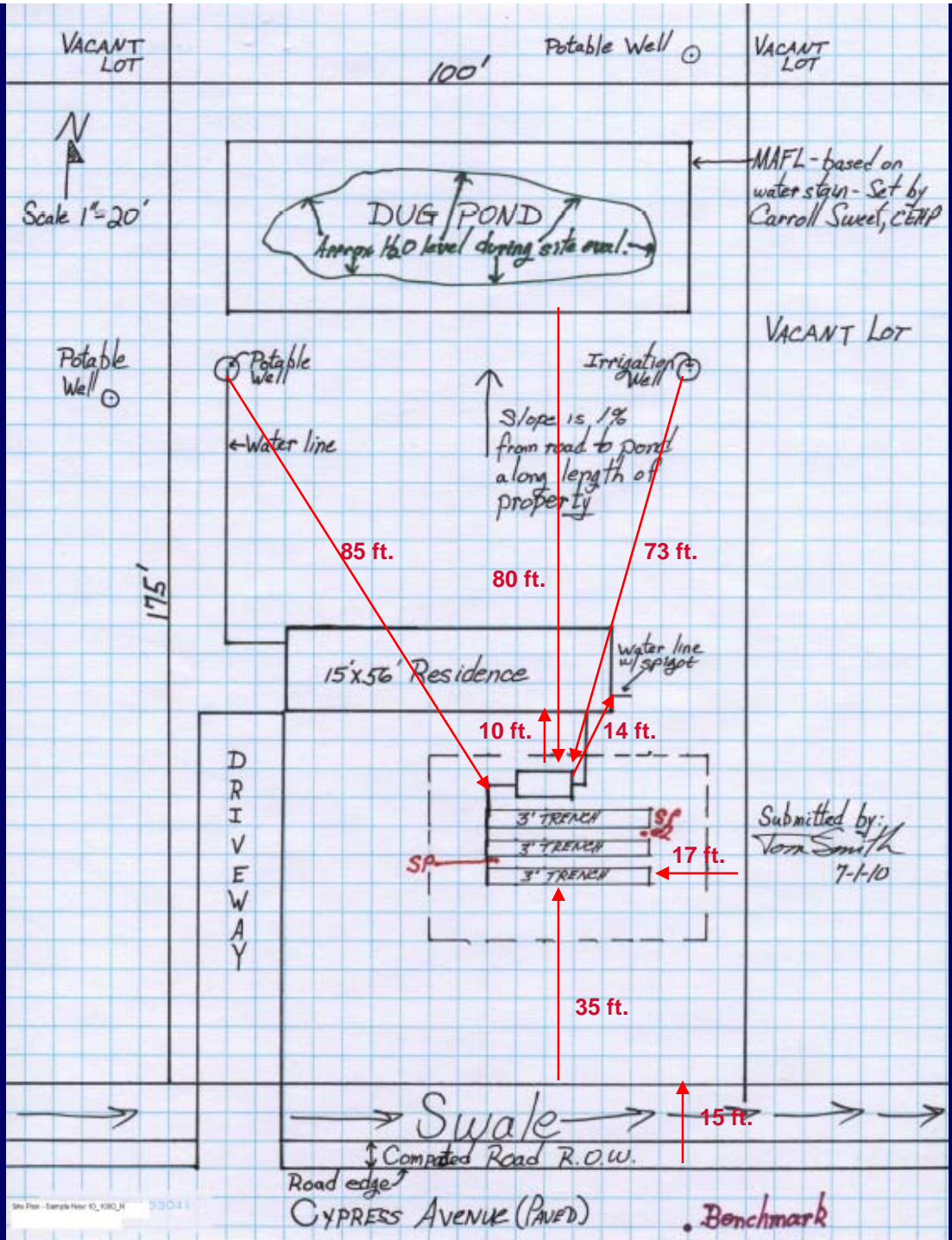
# Does this lot meet lot size requirements?

Yes. It was platted prior to 1972, and there are no minimum lot size requirements; however, it must not exceed authorized sewage flow allowances.

# Site Plan



# Site Plan with dimensions or setbacks



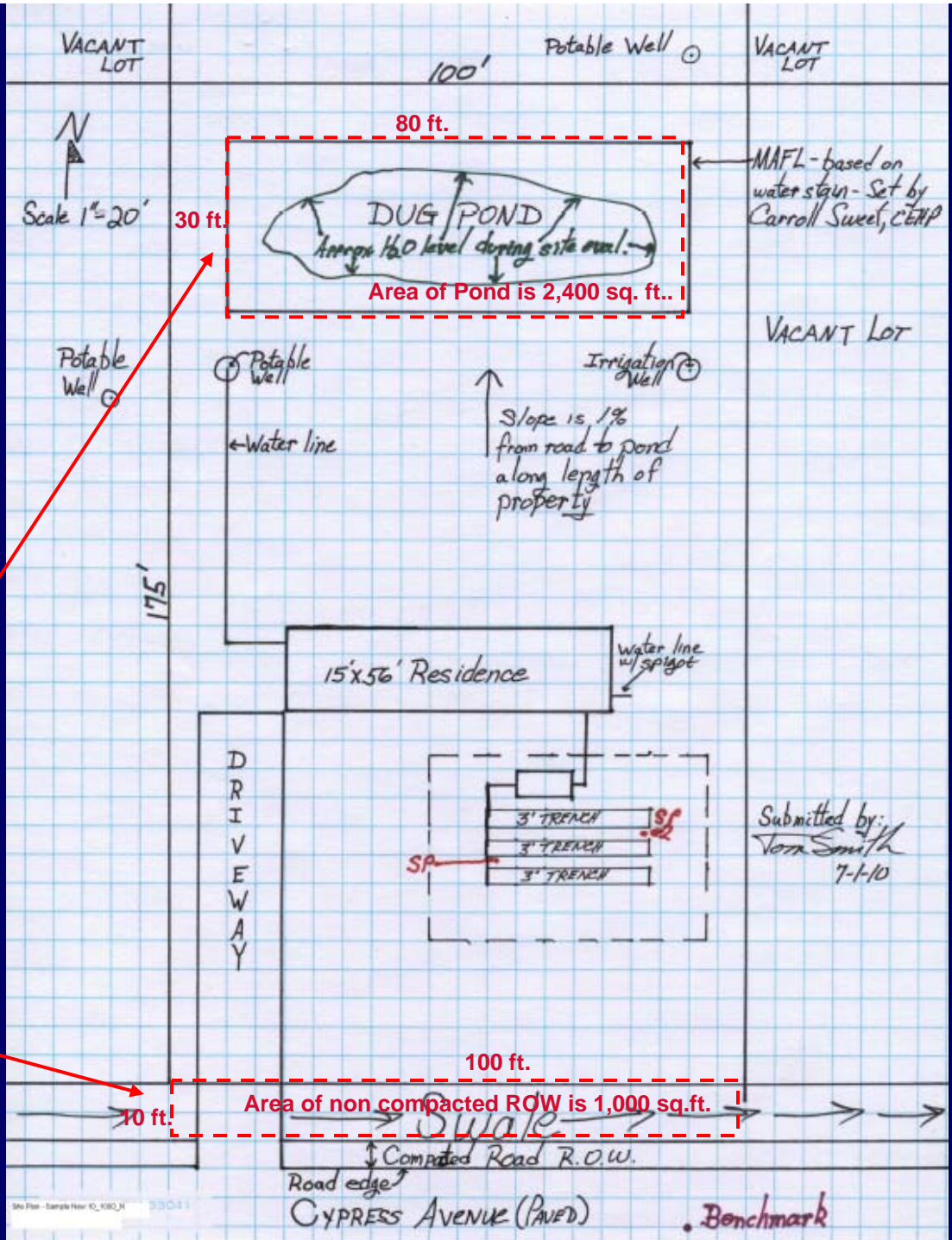
# Lot size and Determination of Net Usable Area:

- Calculate Property Dimensions (Lot Size)  
 $100 \text{ ft.} \times 175 \text{ ft.} = 17,500 \text{ sq. ft.}$
- Add permissible public rights-of-way and easements  
 $10 \text{ ft.} \times 100 \text{ ft.} = 1000 \text{ sq. ft.}$
- Exclude paved and compacted road beds in rights-of-way
- Exclude surface water bodies  
 $30 \text{ ft.} \times 80 \text{ ft.} = 2,400 \text{ sq. ft.}$
- Calculate in Acreage – **Net Usable Area of Lot**  
 $17,500 \text{ sq. ft.} + 1,000 \text{ sq. ft.} - 2,400 \text{ sq. ft.} = 16,100 \text{ sq. ft.}$   
 $(16,100 \text{ sq. ft.} / 43,560 \text{ sq. ft. per acre}) = \mathbf{.37 \text{ acres}}$

Net usable area of property in acres exclusive of all paved areas and prepared road beds within public rights-of-way or easements and exclusive of streams, lakes, normally wet drainage ditches, marshes, or other such bodies of water. Contiguous unpaved and non-compacted road rights-of-way and easements with no subsurface obstructions may be included in calculating lot area. 6464E-6.005(7)(c)

# Site Plan

- Net Usable Area Available is 16,100 sq. ft or .37 acres
- Excludes Surface Water Body (pond)
- Add non-compacted ROW



# Site Evaluation Form DH 4015 pg. 3 of 4



STATE OF FLORIDA  
DEPARTMENT OF HEALTH  
ONSITE SEWAGE TREATMENT AND DISPOSAL SYSTEM  
SITE EVALUATION AND SYSTEM SPECIFICATIONS

PERMIT #. 10-1000-N

APPLICANT: Tom Smith AGENT: Sunshine Septic Company

LOT: 5 BLOCK: NA SUBDIVISION: Oviedo Oaks

PROPERTY ID #: [Section/Township/Parcel No. or Tax ID Number]

TO BE COMPLETED BY ENGINEER, HEALTH DEPARTMENT EMPLOYEE, OR OTHER QUALIFIED PERSON. ENGINEERS MUST PROVIDE REGISTRATION NUMBER AND SIGN AND SEAL EACH PAGE OF SUBMITTAL. COMPLETE ALL ITEMS.

PROPERTY SIZE CONFORMS TO SITE PLAN:  YES  NO **NET USABLE AREA AVAILABLE: 0.37 ACRES**

TOTAL ESTIMATED SEWAGE FLOW: 200 GALLONS PER DAY [RESIDENCES-TABLE 1/OTHER-TABLE2]

AUTHORIZED SEWAGE FLOW: 554.41 GALLONS PER DAY [1500 GPD/ACRE OR 2500 GPD/ACRE]

UNOBSTRUCTED AREA AVAILABLE: 3375.00 SQFT UNOBSTRUCTED AREA REQUIRED: 375.00 SQFT

BENCHMARK/REFERENCE POINT LOCATION: disc on CL of RD near SE corner of property

ELEVATION OF PROPOSED SYSTEM SITE IS 12 [INCHES/FT] [ABOVE/BELOW] BENCHMARK/REFERENCE POINT

THE MINIMUM SETBACK WHICH CAN BE MAINTAINED FROM THE PROPOSED SYSTEM TO THE FOLLOWING FEATURES

SURFACE WATER: 80 FT DITCHES/SWALES: 35 FT NORMALLY WET?  YES  NO

WELLS: PUBLIC: NA FT LIMITED USE: NA FT PRIVATE: 85 FT NON-POTABLE: 73 FT

BUILDING FOUNDATIONS: 10 FT PROPERTY LINES: 17 FT POTABLE WATER LINES: 14 FT

SITE SUBJECT TO FREQUENT FLOODING:  YES  NO 10 YEAR FLOODING?  YES  NO

10 YEAR FLOOD ELEVATION FOR SITE: NA FT MSL/NGVD SITE ELEVATION: NA FT MSL/NGVD

SOIL PROFILE INFORMATION SITE 1

MUNSELL #/COLOR	TEXTURE	DEPTH
10YR 2/1 Blk	FS	0 TO 6
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		TO
		TO
		TO
USDA SOIL SERIES: <u>similar to Myakka</u>		

SOIL PROFILE INFORMATION SITE 2

MUNSELL #/COLOR	TEXTURE	DEPTH
10YR 2/1 Blk	FS	0 TO 7
10YR 5/1, 7/1	FS	7 TO 12
10YR 7/2	FS	12 TO 18
10YR 2/1 Blk	FS spodic	18 TO 40
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ESTIMATED WET SEASON WATER TABLE ELEVATION: 6 INCHES [ABOVE / BELOW] EXISTING GRADE

HIGH WATER TABLE VEGETATION:  YES  NO MOTTLING:  YES  NO DEPTH: 6 INCHES

SOIL TEXTURE/LOADING RATE FOR SYSTEM SIZING: FS/0.80 DEPTH OF EXCAVATION: 48 INCHES

DRAINFIELD CONFIGURATION:  TRENCH  BED  OTHER (SPECIFY)

REMARKS/ADDITIONAL CRITERIA:

Soil profile #1 is 12" above RP, Soil profile #2 is 13" above RP.

Stripping at 6" below grade "10YR 7/1 in 5/1 matrix".

SITE EVALUATED BY: Carroll Sweet, ESI DATE: 7/2/2010

- Net Usable Area Available
- Estimated sewage flow

**Note:** The remainder of the site evaluation is covered in ACT days 2 and 3 – Soils Course

# Estimated Sewage Flow

64E-6.008, Table I

2 bedroom single family residence  
with 840 sq. ft bldg. area requires

**200 gallons per day**

*(must be consistent with the application  
sizing criteria and floor plan)*

**TABLE I**  
**For System Design**  
**ESTIMATED SEWAGE FLOWS**

TYPE OF ESTABLISHMENT	GALLONS PER DAY
<b>RESIDENTIAL:</b>	
Residences	
(a) Single or multiple family per dwelling unit	
1 bedroom with 750 sq. ft. or less of building area.....	100
2 bedrooms with 751-1200 sq. ft. of building area.....	200
3 bedrooms with 1201-2250 sq. ft. of building area.....	300
4 bedrooms with 2251-3300 sq. ft. of building area.....	400
for each additional bedroom or each additional 750 square feet of building area or fraction thereof in a dwelling unit, system sizing shall be increased by 100 gallons per dwelling unit.	
(b) Other per occupant.....	50

# Site Evaluation Form DH 4015 pg. 3 of 4



STATE OF FLORIDA  
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ONSITE SEWAGE TREATMENT AND DISPOSAL SYSTEM  
SITE EVALUATION AND SYSTEM SPECIFICATIONS

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SITE EVALUATED BY: Carroll Sweet, ESI DATE: 7/2/2010

■ Estimated sewage flow

**Note:** The remainder of the site evaluation is covered in ACT days 2 and 3 – Soils Course

# Authorized Sewage Flow

= Net usable area (acres) x Maximum Daily Sewage Flow

For lots served by private well – maximum daily sewage flow is 1500 gpd/per acre

$$(.37 \text{ acres}) \times (1500 \text{ gpd per acre}) = 555 \text{ gpd.}$$

# Site Evaluation Form DH 4015 pg. 3 of 4



STATE OF FLORIDA  
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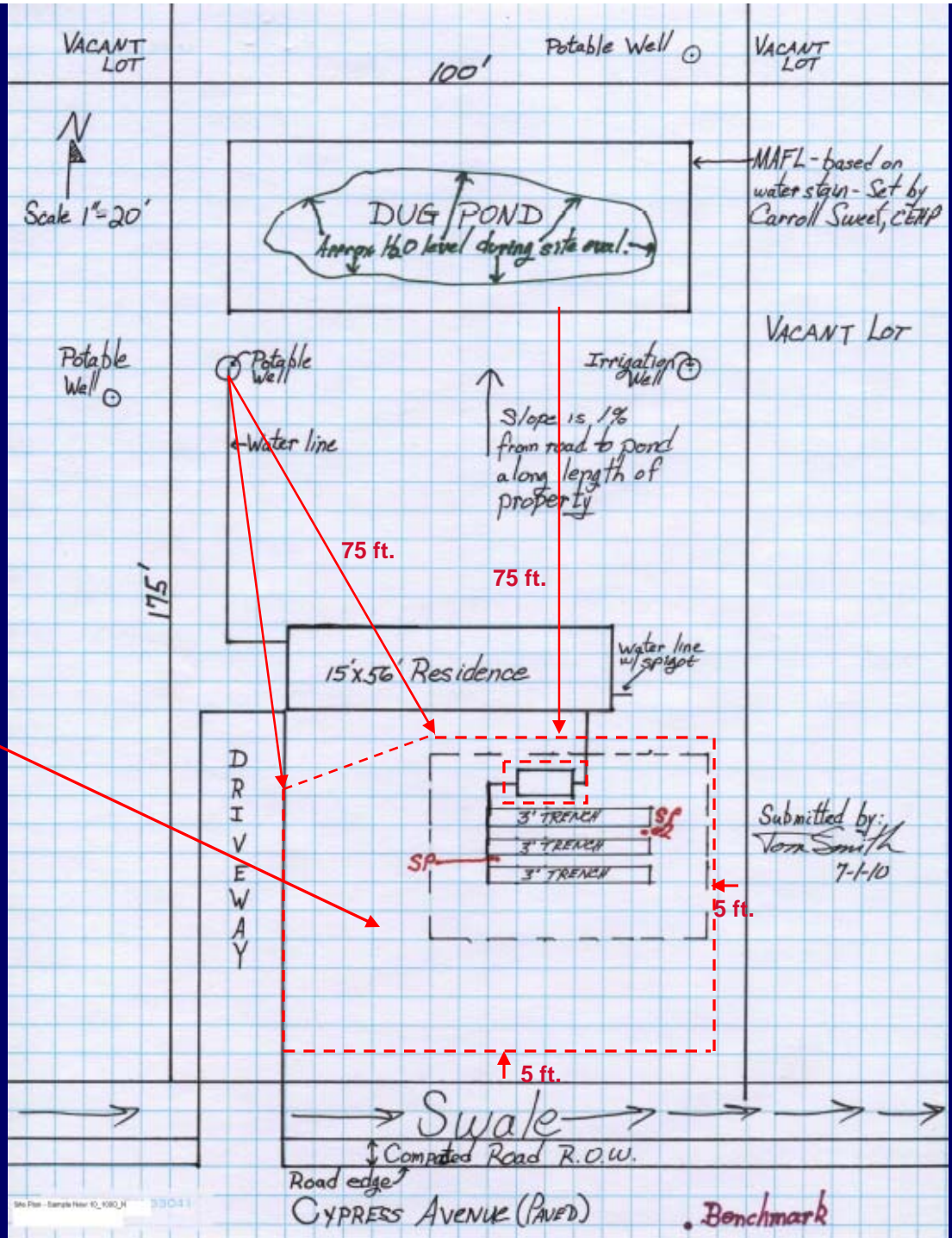
- Authorized Sewage Flow
- Unobstructed Area Available

**Note:** The remainder of the site evaluation is covered in ACT days 2 and 3 – Soils Course

# Site Plan with dimensions or setbacks

- Unobstructed Area Available

3375 sq. ft.



# Questions